

## 5 BUILDING DESIGN STANDARDS

### 5.1 PURPOSE AND INTENT *[Revises Section Z-VI.9.A]*

The purpose of establishing supplementary requirements for development is to ensure that the physical characteristics of proposed development are compatible when considered within the context of the surrounding areas and to preserve the unique visual character and streetscapes of Wake Forest. These requirements strike a balance between creativity and innovation on one hand while avoiding obtrusive, incongruous structures on the other. The rich, architectural vocabulary of the Town of Wake Forest presents a wide variety of development opportunities using traditional forms while avoiding any perception of monotony. Wake Forest strongly encourages architectural styles that build upon and promote the existing historic character of the town and supports the view that inspiring, well-maintained, and harmonious development is in the best economic development interests of all residents and businesses.

### 5.2 APPLICABILITY AND ADMINISTRATION *[Revises Section Z-VI.9.B-C]*

The provisions outlined in this Chapter shall apply throughout the jurisdiction of this Code, regardless of the underlying zoning district provisions and shall apply to all development, including renovations, remodelings, face lifts, repainting, and additions to existing structures. However, the building type standards only apply to those buildings which are specified for the various zoning districts in this chapter. This Chapter is comprised of a combination of quantitative, easily measureable standards for administrative review and qualitative standards for discretionary review. For those qualitative standards (as noted) that require a discretionary review for compliance, such applications will be reviewed and approved in accordance with Section 15.x by the Design Review Board.

#### 5.2.1 NON-STANDARD BUILDING TYPES/BUILDINGS GREATER THAN 100,000 SQUARE FEET

While it is expected that some new building types will be introduced to the Town, these variations should be based upon the predominant types listed in this Chapter. Innovative planning or design ideas for development in any district where the proposed building types are different than those allowed by the base district requirements may be approved by the Design Review Board in accordance with the standards found in the discretionary standards in Section 5.9. Buildings greater than 100,000 square feet in total area shall be subject to the standards of the specific building type and shall be approved by the Design Review Board in accordance with Section 5.9.

#### 5.2.2 ADOPTED PLANS OR HISTORIC GUIDELINES TO TAKE PRECEDENCE

Where specific architectural elements are required as part of an adopted plan or associated with local historic guidelines, these shall take precedence over the building design requirements of this chapter. In the case of a contributing building to the Downtown Wake Forest Historic District, the Secretary of Interior's Standards for Rehabilitation will be used as a guideline for exterior work.

#### 5.2.3 APPLICABILITY OF STANDARDS

The provisions in this Chapter shall apply to all new structures and expansions to existing structures in accordance with the following:

- A. New Structures: All standards apply.
- B. Expansions of Less Than 50% of Floor Area: Standards apply to expansion area only and those areas necessary to visually tie the new to the old.
- C. Expansions of 50% or Greater in Floor Area: All standards apply to facades visible from the public right-of-way.

**5.2.4 MODIFICATION OF STANDARDS/DESIGN EXCEPTIONS**

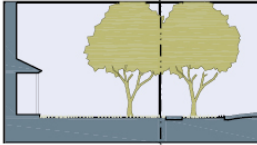
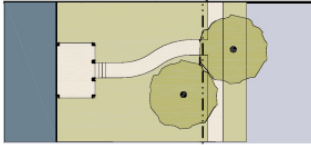
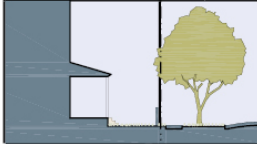




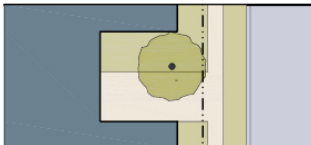




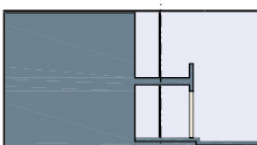

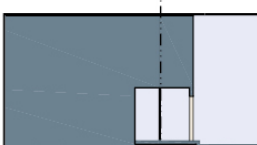

The Administrator may make modifications to the standards in this Section upon the written request of the applicant if the standard(s) in question conflicts with other requirements by law, as long as the proposal is in compliance with the Purpose and Intent above. If the applicant and Administrator cannot come to an agreement the proposal shall be submitted to the Design Review Board for review at their next available meeting in accordance with Section 15.x.

**5.3 APPLICABILITY OF BUILDING TYPES AND FRONTAGES****5.3.1 TABLE OF PERMITTED TYPES AND FRONTAGES FOR ALL DISTRICTS**

Note: This information can also be found in Section 2.2.3

Base Districts	Applicable Section(s)	OS	RD	GR3/GR5	GR10	NB	HB	ICD	LI	HI	UR	RMX	NMX RA-HC	UMX
<b>Building Type</b>														
Civic/Institutional	5.4	n/a	P	P	P	P	P	P	–	–	P	P	–	–
Detached House	5.5	n/a	P	P	P	P	–	P	–	–	P	P	P	–
Townhouse	5.5	n/a	–	–	P	P	P	P	–	–	P	P	P	P
Apartment	5.5	n/a	–	–	P	P	P	P	–	–	–	P	P	P
Commercial	5.6	n/a	–	–	–	P	P	P	P	P	–	P	P	P
Industrial	5.7	n/a	–	–	–	–	–	P	P	P	–	–	–	–
Non-Classified		n/a	–	–	–	–	–	–	P	P	–	–	P	P
<b>Private Frontage</b>														
Common Lawn	5.3.2.a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	P	P	–	–
Porch & Fence	5.3.2.b	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	P	P	–	–
Terrace or L.C.	5.3.2.c	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	P	P	P
Forecourt	5.3.2.d	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	P	P	P
Stoop	5.3.2.e	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	P	P	P
Shopfront/Awning	5.3.2.f	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	P	P	P
Gallery	5.3.2.g	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	–	P	P
Arcade	5.3.2.h	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	–	–	P	P

### 5.3.2 TABLE OF PRIVATE FRONTAGES FOR URBAN DISTRICTS

	SECTION	PLAN
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
<b>a. Common Yard:</b> a frontage wherein the facade is set back substantially from the frontage line. The front yard created is visually continuous with adjacent yards, supporting a common landscape.		
<b>b. Porch &amp; Fence:</b> a frontage wherein the facade is set back from the frontage line with an attached porch permitted to encroach into the front yard. A fence, low wall or hedge at the frontage line maintains the demarcation of the yard.		
<b>c. Terrace or Light Court:</b> a frontage wherein the facade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.		
<b>d. Forecourt:</b> a frontage wherein a portion of the facade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.		
<b>e. Stoop:</b> a frontage wherein the facade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.		
<b>f. Shopfront and Awning:</b> a frontage wherein the facade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk to the maximum extent possible.		
<b>g. Gallery:</b> a frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery may overlap the sidewalk to within 2 feet of the curb subject to Town right-of-way encroachment policy.		
<b>h. Arcade:</b> a frontage wherein the facade is a colonnade that overlaps the sidewalk, while the facade at sidewalk level remains at the frontage line. This type is conventional for retail use. The arcade may overlap the sidewalk to within 2 feet of the curb subject to Town right-of-way encroachment policy.		

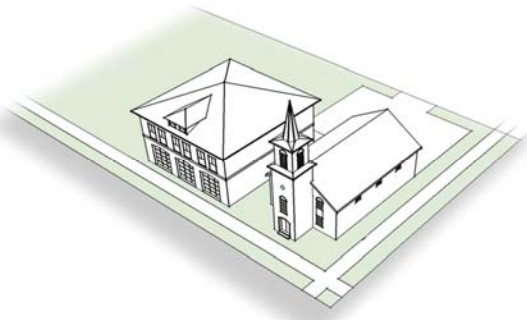
## 5.4 BUILDING TYPE: CIVIC/INSTITUTIONAL

**CIVIC/INSTITUTIONAL BUILDING**

The Civic/Institutional Building serves as a landmark and a public gathering place. The use of this designation is limited to public buildings (e.g., schools, fire stations, and town halls), and semi-public buildings (e.g., hospitals and religious institutions). The Civic/Institutional Building defines a sense of prominence or to accommodate the unique needs of its users.

**Typological Variants:**

Churches  
Schools  
Museums  
Hospitals  
Town Hall

**5.4.1 REVIEW PROCESS**

Because of the often unique design requirements and the expected prominence of certain Civic/Institutional buildings, the process for review and approval shall be different than those of the other building types listed in this Section. It requires that additional standards, as set forth below, be met, but relaxes some of the standards found in the applicable land development district. Approval of all Civic/Institutional Buildings shall be vested solely with the Design Review Board in accordance with [Section 15.X](#) subject to the following standards.

**5.4.2 STANDARDS FOR DESIGN REVIEW**

The Design Review Board in reviewing the application shall consider the following in their review and approval of all Civic/Institutional buildings. Each application shall be considered unique to the sponsoring applicant and location and therefore shall not be bound by previous decisions as precedents.

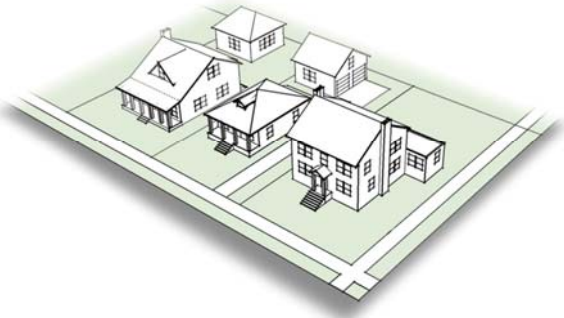
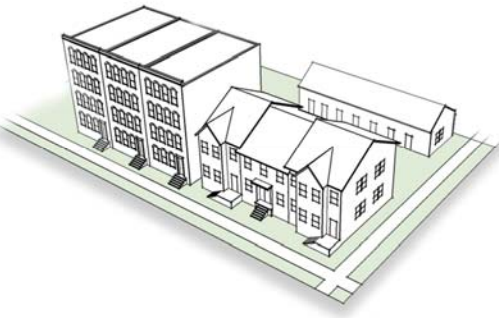
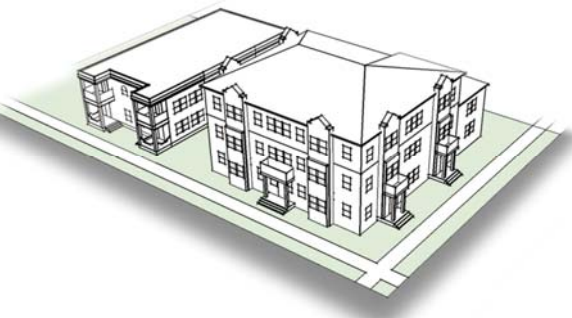
- A. Design and Construction Excellence:** Such buildings should be constructed as permanent additions to the long-term vibrancy of the Town and should serve to exemplify the very best architectural designs and building practices.
- B. Site Prominence:** Designers should consider methods in which to place such buildings above the grade of the surrounding buildings as a means to provide site prominence. Methods to consider include the incorporation of a raised entry from the primary street frontage (while still accommodating NC Accessibility Code requirements) and/or the setback of such buildings to create a formal landscaped area or plaza. Where possible, such buildings shall form a terminating vista down a street or across a civic space whenever possible.
- C. Formal Design Expected:** The formal nature of the building should be demonstrated in the architectural design and the detailing. Depending on the expressed architectural style of the building the following elements should be considered for inclusion:
  - Pronounced window lintels/sills/muntins/etc.
  - Columns (no vinyl or metal clad) with a capitol and a base.

- A water table made up of large, quality masonry units (such as cut or hew stone) or made of smaller masonry units that extend beyond the face of the façade in order to clearly delineate the water table.
- Vertically oriented windows of at least 2:1 ratio.
- Relief in the façade must occur on many levels (the depth of the relief cannot be limited to one or two patterns repeated).
- Cornice lines with significant depth and multiple levels of relief.
- A very well designed entry way, including doors at the main entry that are monumental (taller, larger, heavier, more ornately designed, etc. than normal).
- A tower element of some nature.

**D. High Quality Materials:** The predominant material palette for non-residential structures in Wake Forest is standard brick. Other acceptable exterior primary wall materials for such buildings include stacked stone, lap siding (cementitious fiber board), stucco, exterior insulation finishing systems (EIFS), and stone/stone masonry units. Decorative concrete masonry units (CMU) may be used as a secondary building material. Under no circumstances shall unfinished concrete block be permitted. No vinyl or metal siding shall be attached to any side of a civic/institutional building that is visible from a public street.

**E. Material Colors:** Facade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow, or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features. Color samples shall be provided to the staff at the time of site plan review and prior to renovations, remodelings, facelift, and repainting, along with a description of how and where each color will be used. Colored renderings are encouraged, but shall not be a substitute for this requirement.

## 5.5 RESIDENTIAL: DETACHED HOUSE, TOWNHOUSE AND APARTMENT BUILDING

<p><b>DETACHED HOUSE</b> This building type is flexible in use accommodating primarily residential uses, home occupations, professional offices, and limited retail uses based on the zoning district in which it is located. In general, within a block, building types should be uniform in their use of driveways or alleys. Variations include setting the building on one of the side property lines.</p> <p><b>Typological Variants:</b> Dwelling-Single family Dwelling-Duplex (Maximum of 2 doors facing the street) Dwelling-Multifamily (Maximum of 2 doors facing the street) Manufactured Home Commercial Conversion Bed and Breakfast</p>	
<p><b>TOWNHOUSE</b> The townhouse is a building with two or more residential units that are located side by side. The Townhouse typically has one yard (rear) through variations including a small front setback to provide some landscaping.</p> <p><b>Typological Variants:</b> Dwelling-Duplex Dwelling-Multifamily Live-Work</p>	
<p><b>APARTMENT</b> The apartment building is a multiple-unit building with dwelling units vertically arranged (generally) and with parking located below or behind the buildings. Units may be for rental or for sale in condominium ownership or may be designed as continuing care facilities or dormitories. The ground floor may be available for commercial uses. The Apartment Building typically has one yard (rear) though variations include a small front and side setbacks to provide some landscaping.</p> <p><b>Typological Variants:</b> Dwelling-Multifamily Mixed-Use Building</p>	

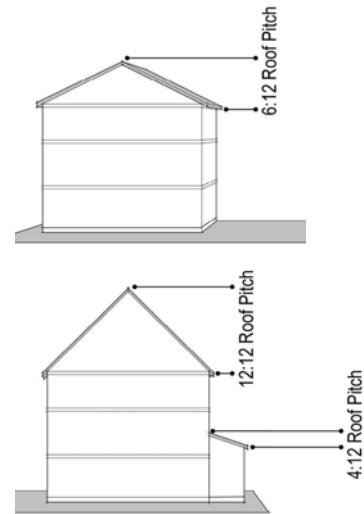
### 5.5.1 APPLICABILITY

The following standards are applicable to all detached houses in the Urban Districts (UR, RMX, RA-HC, NMX, UMX) and multi-family structures in all districts unless otherwise noted.



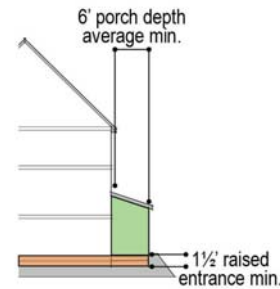
### 5.5.2 ROOFS AND EAVES

- A. Buildings shall have sloped roofs. Main roofs on residential buildings shall have a pitch between 6:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall have a pitch less than 4:12.
- B. Flat roofs are not permitted in the UR and RMX districts unless approved by the Design Review Board.
- C. Flush eaves shall be finished by profiled molding or gutters.
- D. All rooftop equipment (except small items such as fans and vents) shall be screened from view from the public right-of-way within the block.



### 5.5.3 BUILDING ENTRANCES

- A. **Porches:** Useable porches and stoops are recommended to form a predominant motif of the building design and be located on the front and/or side of the building to respond to the climatic conditions and the vernacular of the mountains. Front porches, if provided, shall be at least 6 feet in average depth.
- B. **Raised Entries:** To provide privacy, all residential entrances within 25 feet of the sidewalk shall be raised from the finished grade (at the building line) a minimum of 1½ feet.
- C. **Visitability/Accessibility:** For residential buildings in developments designed for residents aged 55 and older, there shall be provided one zero-step entrance to each building from an accessible path at the front, side, or rear of each building. This does not eliminate the requirements for residential buildings to have raised front entrances unless topographic conditions present no practical alternative.



### 5.5.4 GARAGES

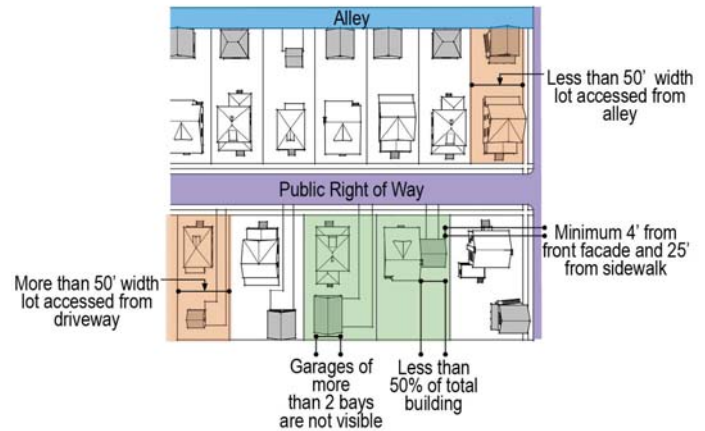
- A. **For Houses (on lots less than 50 ft in width):** Garages or off-street parking areas shall be accessed only from an alley. Driveways shall not be permitted to connect to the fronting street.
- B. **For Townhouses/Apartment Buildings:** Garages or off-street parking areas shall be accessed only from an alley. Driveways are permitted from the fronting street to provide access to parking in the third layer only.
- C. **Garage Door Setback from façade:** Garages with front loading bays shall be recessed from the front facade of the house by a minimum of four (4) feet and shall be visually designed to form a secondary building volume. Garage doors shall be setback a minimum of twenty-five (25) feet from the back of sidewalk.
- D. **Garage Door Width:** At no time shall the total width of an attached garage door(s) exceed 50% of the total building façade for lots more than 50 feet in width.

**E. Extra Bays to Be**

**Turned:** All garages with more than two bays shall be turned such that no more than two bays are visible from the street.

**F. For All Townhouse and Apartment buildings:**

Garages or off-street parking areas shall be accessed only from an alley or via a driveway leading to a detached garage or parking area behind the front facade.

**5.5.5 FAÇADE DESIGN/PERMEABILITY/TRANSPARENCY**

At least **15 percent** of the area of each façade that faces a street lot line must be windows or main entrance doors. Windows used to meet this standard must allow views from the building to the street. Glass block does not meet this standard. Windows in garage doors do not count toward meeting this standard, but windows in garage walls do count toward meeting this standard. To count toward meeting this standard a door must be at the main entrance and facing the street property line.

**5.5.5 MATERIALS**

- A. Building Walls:** Building walls (including accessory structures greater than **144 square feet**) shall be primarily clad in wood clapboard, cementitious fiber board, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, or synthetic materials similar and/or superior in appearance and durability. Vinyl may only be used on buildings that are no closer than **20 feet** from the next closest building and that do not contain mixed occupancy or multi-family dwelling units. Exterior Insulation Finishing Systems (EIFS) may be used above **3 feet** from the base of residential buildings.
- B. Roof Materials:** Residential roofs shall be clad in wood shingles, standing seam metal, terne, slate, asphalt shingles or synthetic materials similar and/or superior in appearance and durability. EIFS: Exterior insulation finishing systems
- C. Material Colors:** Facade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow, or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features.



## 5.6 COMMERCIAL BUILDINGS

### COMMERCIAL BUILDING

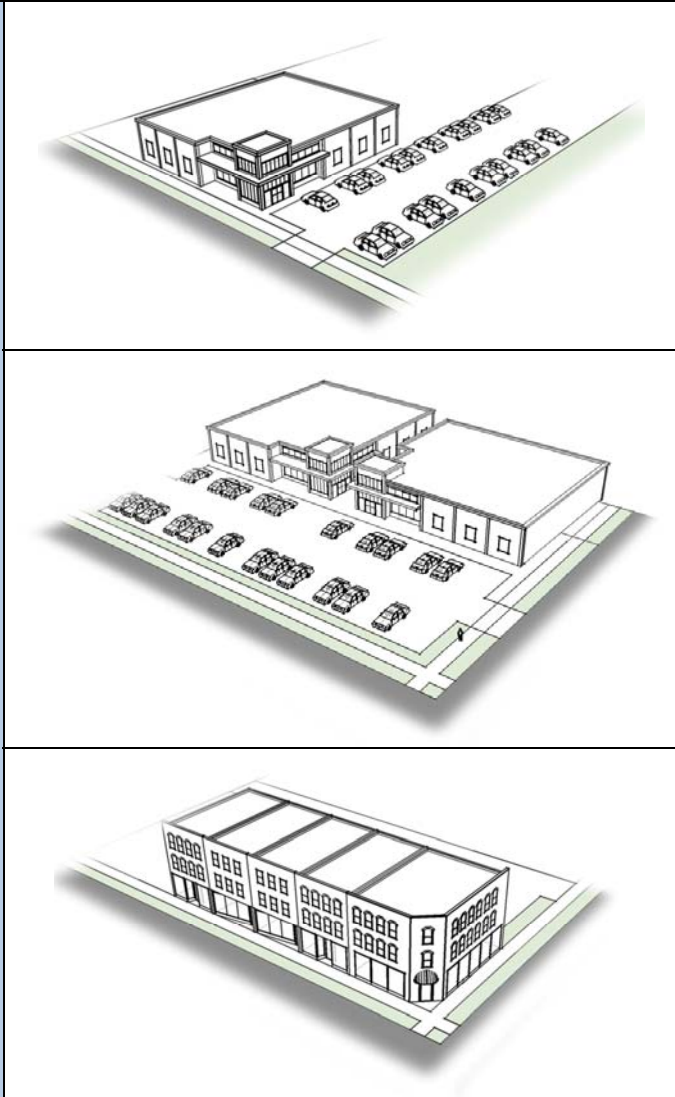
The commercial building is a structure with a high percentage of its ground level façade in transparent fenestration (windows and doors) to encourage pedestrian activity along its frontage. The Commercial Building typically has one yard (rear) though variations include a small front plaza or courtyard to provide public space for outdoor seating as well as a building with complete lot coverage where parking is handled in a manner other than on-site surface parking.

#### Typological Variants

Commercial Building – Neighborhood

Commercial Building – Highway Commercial

Mixed-Use Building (multi-story)



### 5.6.1 APPLICABILITY

The following standards are applicable to all commercial buildings in accordance with the district.

### 5.6.2 FACADE MATERIALS

- A. Materials:** Commercial building walls visible from a public street or civic space shall be primarily standard brick, stacked stone, stone or stone masonry units, wood clapboard, cementitious fiber board, or exposed heavy timber. Glass curtain walls may be approved subject to Design Review to ensure the styling and details are appropriate for the context. Decorative concrete masonry units (CMU) and exterior insulation finishing systems (EIFS) may be used on facades not facing a public street or civic space or as a secondary building material only (less than 25% of the wall area) on primary frontage facades. Under no circumstances shall unfinished concrete block be permitted.

- B. Balance of Wall Materials:** When two or more materials are used on a façade, the heavier material shall be placed below the lighter material (e.g., siding over brick) to give the sense of support and grounding.
- C. Material Colors:** Facade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow, or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features. Color samples shall be provided to the staff at the time of site plan review and prior to renovations, remodelings, facelift, and repainting, along with a description of how and where each color will be used. Colored renderings are encouraged, but shall not be a substitute for this requirement.

### 5.6.3 GROUND LEVEL DETAILING

- A. Minimize Blank Walls:** Expanses of blank walls facing streets (excluding rear access drives or alleys) or public civic spaces may not exceed 20 feet in length. (A "blank wall" is a facade that does not contain transparent windows or doors.)
- B. Ground-Level Glazing:** Window glazing and doorways shall be the predominant features in the street-level facade. Exterior burglar bars, fixed "riot shutters," or similar security devices shall not be visible from the public right-of-way. All ground level windows shall provide direct views to the building's interior extending a minimum of 6 feet behind the window.
- C. Transparency Zone:** Glazing that is transparent under all lighting conditions shall extend from a base of contrasting material (not exceeding four (4) feet in height above the adjacent grade) to at least the height of the door head. However, spandrel or colored glass may be used above the height of the door head. The table below lists the standards for the percentage of glazing in the Transparency Zone by district and building.



Commercial Buildings in District	Percentage of Glazing in Transparency Zone	
	Primary Facade	Side Facade
RMX, NMX, RA-HC, UMX	70% min.	50% min.
NB, HB	50% min.	50% min.
Uses greater than 100,000 square feet	40% min.	N/A

- D. Canopies/Awnings:** A building canopy, awning, or similar weather protection may be provided and should project a minimum of 5 feet from the façade.
- E. Ventilation Grates and Emergency Exit Doors:** Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, shall be decorative. Unless otherwise required

by the building code, such grates and doors shall be located away from pedestrian spaces (sidewalks and pedestrian paths).

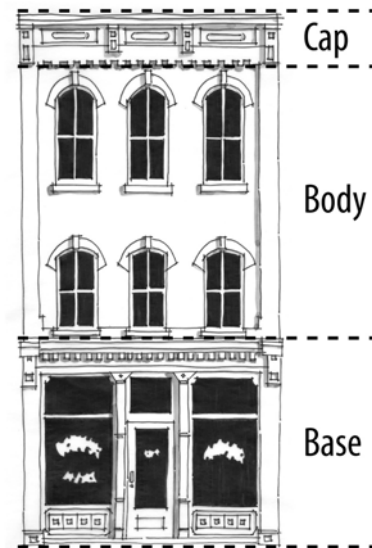
#### 5.6.4 UTILITIES

- A. Rooftop Equipment:** All rooftop equipment shall be screened from view to the extent practical. If, due to the topography of the site, a physical screen would not suffice, alternative methods to minimize the negative aesthetics of the otherwise utilitarian equipment (e.g., painting the equipment to match the building) may be approved by the Administrator.
- B. Wall Mounted Equipment:** No wall-mounted building utility service equipment (e.g., electrical house panel boxes) shall be placed on the public street right-of-way side of the building.

#### 5.6.5 FAÇADE ARTICULATION

Articulation involves the horizontal and vertical variation of the façade so that walls are subdivided into bays or sections that are vertically proportioned. The following provisions for façade articulation shall apply to any façade visible from a public street or civic space. For buildings set back more than 200 feet from the street, the standards in this subsection apply only to the primary façade facing the street.

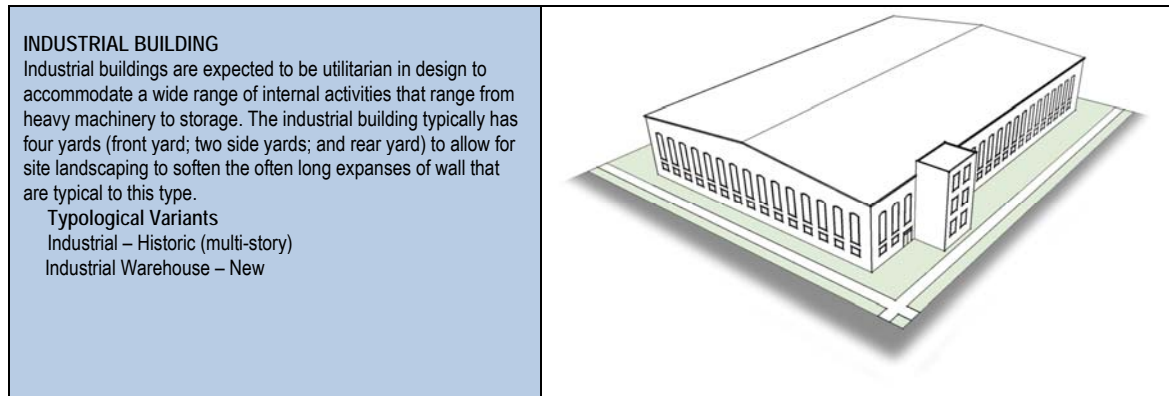
- A. Vertical Elements:** All architectural elevations of principal buildings [over 20 feet in height] visible from a public street or civic space shall have a clearly discernable base, body, and cap. The base shall occupy the lowest portion of the elevation, shall have a height of at least three (3) feet, and be constructed of a masonry material. The component described as the body shall constitute a minimum of 50% of the total building height. The cap shall occupy the highest portion of the elevation, excluding the roof, and shall have a dimension that does not exceed the height of the base. The cap shall consist of a cornice, parapet, awning, canopy, eave or other architectural treatment that visually performs in the same manner. The base and cap shall be clearly distinguishable from the body through changes in color, material, pattern, profile, or texture.
- B. Articulation:** The frontage of buildings shall be divided into architecturally distinct sections or bays with each section taller than it is wide, unless otherwise noted. Sections or bays shall be visually established by architectural features such as columns, ribs, pilasters or piers, changes in plane, or an equivalent element that otherwise visually subdivides the wall through at least 50% of its height. The following provisions shall apply:



Façade Width/Use Size	Maximum Bay/Section Width	Minimum Type/Depth of Articulation	Rooflines
a. Less than 60 feet	Not Applicable	Not Applicable	Not Applicable
b. 60 feet – 120 feet	30 feet with each section taller than it is wide	At least one change in wall plane is required with a minimum depth of 2 feet and extending at least 20% of the entire length of the façade – all other required dividing elements shall be at least 12 inches in width and 4 inches in depth	At least one change in roofline every 60 ft
c. Uses greater than 120 feet in width or 100,000 square feet whichever is less	Shall not exceed the height of the façade	<ul style="list-style-type: none"> <li>No walls may extend more than 25% of the length of that side of the building without a minimum change in plane of 2 feet.</li> <li>Second principal entrance required along frontage</li> </ul>	At least one change in roofline every 60 ft

- C. Expression of Entries:** Each entryway shall have one or more clearly defined, highly visible customer entrance facing the street. The entrance shall feature one or more of the following: canopies or porticos, arcades, arches, wing walls, and/or planters.

## 5.7 BUILDING TYPE: INDUSTRIAL



### 5.7.1 APPLICABILITY

The following standards are applicable to all industrial buildings, in accordance with the district.

### 5.7.2 FACADE MATERIALS & COLORS

- A. Materials:** Industrial building walls shall be predominantly brick, stucco, decorative concrete block, or EIFS. Vinyl or metal sheeting is prohibited on the front elevations and any side elevations within twenty (20) feet of the front elevation. Under no circumstances shall unfinished concrete block be permitted.
- B. Material Colors:** Facade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow, or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features. Color samples shall be provided to the staff at the time of site plan review and prior to renovations, remodelings, facelift, and repainting, along with a description of how and where each color will be used.

### 5.7.3 FAÇADE ARTICULATION

Articulation involves the horizontal and vertical variation of the façade so that walls are subdivided into bays or sections that are vertically proportioned. The following provisions for façade articulation shall apply to any façade visible from a public street or civic space. For buildings set back more than 200 feet from the street, the standards in this subsection apply only to the primary façade facing the street.

- A. No Flat Walls Permitted:** The frontage of buildings shall be divided into architecturally distinct sections or bays with each section taller than it is wide. Sections or bays shall be visually established by architectural features such as columns, ribs, pilasters or piers, recesses, projections, windows, awnings, arcades or an equivalent element no less than twelve (12) inches in width and four (4) inches in depth that otherwise visually subdivides the wall through at least 50% of its height.

#### 5.7.4 ROOFTOP EQUIPMENT

All rooftop equipment shall be screened from view to the extent practical given the varied topography of Wake Forest. If, due to the topography of the site, a physical screen would not suffice, alternative methods to minimize the negative aesthetics of the otherwise utilitarian equipment (e.g., painting the equipment to match the building) may be approved by the Administrator.



## 5.8 MANUFACTURED HOME BUILDING DESIGN STANDARDS

### 5.8.1 APPLICABILITY

All manufactured homes permitted shall comply with the requirements of 5.3 above (unless the standards below conflict and shall therefore take precedence) and must comply with the standards established by the United States Department of Housing and Urban Development under the National Manufactured Housing Construction and Safety Act of 1974, 42 U.S.C. § 5401, et seq and that satisfies each of the following additional criteria:

### 5.8.2 STANDARDS

- A. The manufactured home or office is set up in accordance to the standards set by the North Carolina Department of Insurance in the current edition of the North Carolina Regulations for Manufactured Homes, including, but not limited to, all footings, supporting piers, anchors, and tie downs. *[from Section Z-VI.8]*
- B. The tongue, axles, running lights and removable towing apparatus must be removed prior to the issuance of a certificate of occupancy. *[from Section Z-VI.8]*
- C. The manufactured home shall be attached to a permanent foundation of brick, stone, concrete, framing or block that is unpierced except for required ventilation and access as required by the North Carolina State Building Code or for flood hazard construction. If the masonry foundation is not brick, stone, or decorative concrete block it shall be parged (coated with a mortar-like finish) on the visible side. *[from Section Z-VI.8]*
- D. The pitch of the roof of the manufactured home has a minimum vertical rise of **three (3) inches** for every **twelve (12) inches** of horizontal run.
- E. The roof must be covered with a material that is customarily used on site-built dwellings. Aluminum or metal roofing is not permitted unless standing seam metal roofing or metal shingles are utilized.
- F. The roof shall have a minimum eave projection and roof overhang of six **(6) inches**, not including the gutter.
- G. Exterior siding shall be of a material customarily used on site-built dwellings which does not have a high gloss finish, such as wood, conventional vinyl or metal siding, brick, stucco or similar materials. Smooth, ribbed or corrugated metal or plastic panels are not permitted.
- H. Stairs, porches, entrance platforms, ramps, and other means of entrance and exit to and from the home are installed in accordance with the requirements of the North Carolina State Building Code, attached firmly to the primary structure, and anchored securely to the ground. *[from Section Z-VI.8]*
- I. Other than those within the manufactured home or office itself, all installations of plumbing and electrical wiring and all gas and oil appliances shall comply with the provisions of the building, plumbing, electrical, heating, and gas regulations of the North Carolina State Building Code. *[from Section Z-VI.8]*
- J. The length of the home shall not exceed **four (4)** times the width, excluding additions.
- K. Architectural and aesthetic standards specified in this section shall be applicable to all additions.
- L. At the main entrance door there shall be an entryway transition that is a minimum **six (6) feet by six (6) feet**.
- M. A minimum of nine hundred (900) sq. feet of enclosed living space, or compatible with neighborhood.

- N. Empty liquefied petroleum gas containers and other objects and materials not approved by the Wake Forest Fire Department shall not be stored under manufactured homes or offices. *[from Section Z-VI.8]*
- O. The siding color shall be compatible with the immediate neighborhood and shall not have a reflectivity exceeding that of white paint. *[from Section Z-VI.8]*

It is the intent of these criteria to ensure that a Class A Manufactured Home, when installed, shall have substantially the appearance of an on-site, conventionally built, single-family home.

## 5.9 DISCRETIONARY REVIEW STANDARDS

The requirements of this Chapter are intended to facilitate a wide variety of uses in close proximity to one another through the use of detailed design standards that address the key considerations of the pedestrian realm. That is, their primary focus is on the ground floor and those portions of the building that are most readily visible to a typical pedestrian. A secondary focus is the overall aesthetic of community and the visual perceptions that encourage a vibrant economy. The general standards noted below are intended to be used by the Design Review Board in their review of those applications that require additional review beyond the detailed building type design provisions found in the subsequent sections. Each application shall be considered unique to the sponsoring applicant and location and therefore shall not be bound by previous decisions as precedents.

### 5.9.1 CONFORMITY TO THE COMMUNITY PLAN PRINCIPLES FOR BUILDING DESIGN

- A. New, expanding, or improved businesses should employ architectural standards consistent with Wake Forest's architectural character and should avoid standard prototype designs otherwise employed in "Anywhere USA".
- B. Exceptional locations, views and vistas in the town should receive exceptional treatment and/or protection in design and development.
- C. Noteworthy buildings, important outdoor spaces, objects of historic merit, important monuments, and significant works of art should be placed in positions of visibility and prominence. Their placement should be coordinated with street design.
- D. Significant natural and existing man-made elements should be incorporated into the thematic design of new developments.
- E. Large trees, ponds, creeks, or other natural features of the landscape should be saved when locating new streets, buildings, parking lots, etc.
- F. Community character should be supported by development that is compatible when considered within the context of the surrounding area.
- G. Exterior lighting should be attractive, functional and safety conscious, while also avoiding negative impacts on the night sky visibility of Wake Forest.

### 5.9.2 DESIGN AND CONSTRUCTION EXCELLENCE

All buildings should be constructed as permanent additions to the long-term vibrancy of the Town and should serve to exemplify the very best architectural designs and building practices.

### 5.9.3 COMPATIBILITY

All development subject to this section shall be compatible with the established architectural character of the town by using a design that is complementary to existing town architectural styles, designs, and forms. Compatibility shall be achieved through techniques such as the repetition of roof lines, the use of similar proportions in building mass and outdoor spaces, similar relationships to the street, similar window and door patterns, and the use of building materials that have color,

shades, and textures similar to those existing in the immediate area of the proposed development.

#### 5.9.4 MATERIALS & COLORS

- A. Building Materials:** The predominant material palette for non-residential structures in Wake Forest is standard brick. Other acceptable exterior primary wall materials for such buildings include stacked stone, lap siding (cementitious fiber board), stucco, exterior insulation finishing systems (EIFS), and stone/stone masonry units. Decorative concrete masonry units (CMU) may be used as a secondary building material. Under no circumstances shall unfinished concrete block be permitted.
- B. Material Colors:** Facade colors shall be of low reflectance earth tone, muted, subtle, or neutral colors. Building trim may feature brighter colors as an accent material. The use of high-intensity or metallic colors is not allowed except for accent purposes. The use of fluorescent, day glow, or neon colors shall be prohibited as a predominate wall color. Variations in color schemes are encouraged in order to articulate entry ways and public amenities so as to give greater recognition to these features. Color samples shall be provided to the staff at the time of site plan review and prior to renovations, remodelings, facelift, and repainting, along with a description of how and where each color will be used. Colored renderings are encouraged, but shall not be a substitute for this requirement.

### 5.10 INFILL DESIGN STANDARDS

*[May be relocated to Chapter 4-Need to determine the best way to implement these principle as an administrative function]*

As a means to provide guidance for the design of buildings that integrate well into the context of Wake Forest, this Section has identified eight key features necessary to ensure compatibility:

#### 5.10.1 Street Frontage

Along residential side streets, limit interruptions to front setback landscaping. A key way of achieving this is by preserving existing front yard landscaping and minimizing the amount of frontage devoted to paved vehicle areas.



Image Source: The Infill Design Toolkit: Medium-Density Residential Development  
City of Portland Bureau of Planning, December, 2008

**5.10.2 Rhythm Of Development Along The Street**

Continue established building rhythms along street frontages. Avoid monolithic massing that disrupts fine-grain neighborhood or mixed-use corridor pattern.

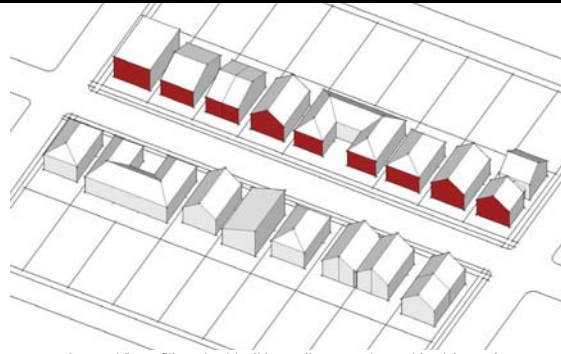


Image Source: The Infill Design Toolkit: Medium-Density Residential Development  
City of Portland Bureau of Planning, December, 2008

**5.10.3 Building Frontages**

Along street frontages, orient windows, main entrances, and other primary building façade elements toward the street. Care should be taken to avoid the appearance of buildings turning their backs or sides toward the street. Courtyard buildings can contribute to this by orienting main entrances toward courtyards that serve as a semi-public extension of the public realm of adjacent streets.

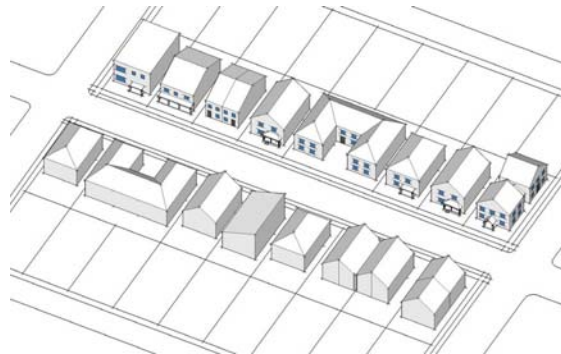


Image Source: The Infill Design Toolkit: Medium-Density Residential Development  
City of Portland Bureau of Planning, December, 2008

**5.10.4 Front Setback Patterns**

Continue established building setback patterns, where this is a neighborhood priority and is practical. Note: Deep front setbacks can compromise the ability to provide backyard space and/or rear parking, particularly at higher densities.

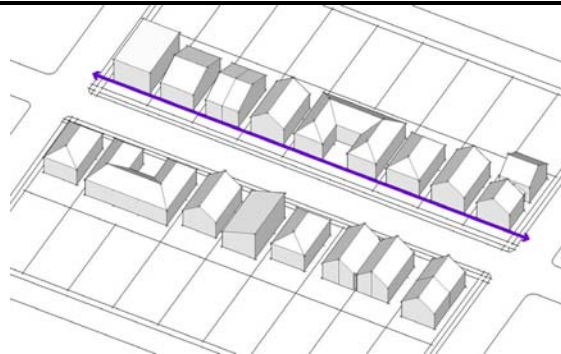


Image Source: The Infill Design Toolkit: Medium-Density Residential Development  
City of Portland Bureau of Planning, December, 2008

**5.10.5 Landscaping And Trees**

Use landscaping and trees to achieve compatibility in areas where these are unifying elements of community character.



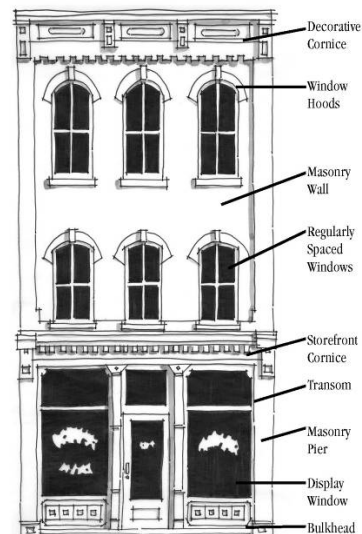
#### 5.10.6 Viewshed Protection

Important vistas and views of the Southeastern Baptist Theological Seminary's church steeple shall be protected and accentuated to the extent practical. [Section Z-VI-9]



#### 5.10.7 Architectural Features

Consider designing buildings to respond to prevalent architectural features of the surrounding context, especially in areas where patterns established by recurring architectural features are well-documented and valued. Consideration should also be given to avoid mimicry of existing buildings, so that opportunities for the continuation of the evolution of architectural style are not stifled.



#### 5.10.8 Street Vistas

Important street vistas (such as along Town gateways and primary pedestrian streets) should terminate in a focal point, such as a building or other architectural or landscape feature.



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